



# Design Review Board Agenda

15728 Main Street, Mill Creek, Washington 98012

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**July 18, 2019**

**5:15 p.m.**

***COUNCIL CHAMBERS***

- |  |                  |
|--|------------------|
| <b>I. CALL TO ORDER:</b>                                     | <b>5:15 p.m.</b> |
| <b>II. ROLL CALL:</b>  | <b>5:15 p.m.</b> |
| <b>III. APPROVAL OF MINUTES:</b>                             | <b>5:16 p.m.</b> |
| A. Approval of June 20, 2019 Meeting Minutes <sup>(1)</sup>  |                  |
| <b>IV. NEW BUSINESS:</b>                                     | <b>5:17 p.m.</b> |
| A. Clock Tower Phase II – Building Elevations <sup>(2)</sup> |                  |
| B. The Farm – Landscaping and Streetscape <sup>(3)</sup>     |                  |
| <b>V. ADJOURNMENT:</b>                                       | <b>6:30 p.m.</b> |

**ATTACHMENTS:**

1. June 20, 2019 Meeting Minutes
2. Staff Report with Attachments
3. Staff Report with Attachments

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**CITY OF MILL CREEK  
DESIGN REVIEW BOARD MEETING MINUTES  
June 20, 2019**

Draft

**DRB Members:**

Dave Gunter, Chair  
David Hambelton, Vice Chair  
Tina Hastings  
Diane Symms  
Beverly Tiedje

Community Development Staff:  
Christi Schmidt, Senior Planner  
Sherrie Ringstad, Associate Planner

**I. CALL TO ORDER:**

Chair Gunter called the meeting to order at 5:15 p.m.

**II. ROLL CALL:**

All members were present as noted above.

**III. MINUTES:**

A. Minutes of April 18, 2019

**MOTION: Vice Chair Hambelton moved, seconded by Member Symms, to approve the April 18, 2019 minutes as presented. The motion was approved unanimously.**

**IV. NEW BUSINESS:**

The Farm at Mill Creek

Senior Planner Christi Schmidt noted that the project before the DRB is the beginning of the formal review for The Farm development. She noted that this evening the DRB will be reviewing Building Elevations for Building D and the Garage. The staff presentation included a review of the DRB scope of authority, an overview of the EGUV area, vicinity map showing the site and mitigation area, photos of the existing conditions, an overview of The Farm development and a review of the building elevation design criteria.

The Farm Building Elevations for Building D

Ms. Schmidt stated that revised elevations showing the usable balconies have been submitted (Sheets 107A and 108A) and distributed to the Board. She reviewed the elevations proposed for Building D, including perspective elevations and materials. She noted that the Code requires outdoor mechanical equipment to be screened and staff has recommended a Condition of Approval requiring screening or painting of the rooftop equipment on Building D.

The project architect Chris Olson, responding to a Board Member's question, explaining that the balcony railings are iron and are a bronze/brown color.

Member Hastings asked how the cement board weathers and if it will be prone to moss. Mr. Olson stated that they should not have problems with moss. In addition, they are installed with trim designed for that product that creates a crisp line finish. Member Symms agreed that since there are no trees shading the building, moss shouldn't be a problem.

Ms. Schmidt summarized the staff recommended Conditions of Approval as follows:

- All awnings shall be a minimum of 6 feet in width.
- All utility meters and roof top units on Building D are required to be screened and/or painted to match the main building.
- The plans are to be revised to show useable balconies in accordance with the EGUV Design Guidelines.

Member Hastings said that she would prefer the mechanical equipment to be screened rather than painted. Mr. Olson said the applicant would also prefer screening.

Michael Scherping,

Mr. Scherping, a Cottonwood resident, said that he feels the revised elevations showing the usable balconies are a definite improvement. He just had one question regarding the proposed location for signage. Ms. Schmidt referenced Attachment 5, Sheet A104, stating that it shows the signage below the canopies where it will not be visible to the residents in the surrounding single-family residential homes. There may also be blade signs.

Ms. Schmidt concluded the presentation on Building D by stating that staff is recommending approval as conditioned, including the additional DRB condition regarding the preference for screening of the mechanical equipment rather than painting.

**MOTION:** Vice Chair Hambelton moved, seconded by Member Tiedje, to approve the building elevations for Building D as conditioned in the staff report with the following additional condition:

- **Modify Condition 1.B to require screening of the mechanical equipment rather than painting.**
- **Add a new Condition that all plans be revised to show usable balconies as shown in the revised elevations.**

**The motion was approved unanimously.**

The Farm Building Elevations for the Garage

Ms. Schmidt described the proposed Garage elevations including perspective elevations and proposed materials.

The Board discussed the cement panels on the garage walls facing Building F and it was the consensus of the Board that does not meet the Design Guidelines. Even though the walls aren't visible from the right-of-way because they are surrounded by Building F, they should have more interest because they are visible to the residents in Building F. Mr. Olson stated that for maintenance reasons they would prefer not to paint the concrete and suggested texture in the concrete to create visual interest. The Board agreed with this suggestion.

Ms. Schmidt concluded her presentation by stating that staff finds the proposed elevations, as conditioned, to be consistent with the City's guidelines and is recommending approval.

**MOTION:** Vice Chair Hambelton moved, seconded by Member Symms, to approve the building elevations for the Garage as conditioned in the staff report with the following additional condition:

- **The north, south and west concrete walls of the Garage shall be textured to provide interest.**

**The motion was approved unanimously.**

**V. ADJOURNMENT:**

**Chair Gunter adjourned the meeting with the consensus of the Board at 6:10 p.m.**

Submitted by:

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Sherrie Ringstad, Associate Planner

**CITY OF MILL CREEK  
DESIGN REVIEW BOARD  
APPLICATION PL2019-0008**

**PART I - SUMMARY INFORMATION**

**NAME OF PROJECT:** Clock Tower Phase II – Mini Storage Facility

**APPLICANT:** Greg Moore  
Moore Design Associates  
15504 SE 18<sup>th</sup> Street  
Bellevue, WA 98007

**OWNER/DEVELOPER:** David Lee  
Mill Creek Commons Phase II, LLC  
12214 Southeast 18th Place  
Bellevue, Washington 98005

**LOCATION:** The project is located at 16824 Bothell-Everett Highway (on the west side of the highway near the intersection with old Seattle Hill Road), Mill Creek, Washington.

**PROPOSAL:** Review of building elevations and materials

**ZONING:** Business and Industrial Park - BP

**PART II – DESIGN REVIEW BOARD AUTHORITY**

In accordance with Mill Creek Municipal Code (MCMC) Section 17.34.020, the Design Review Board (DRB) shall review building elevations, landscape plans and monument signs for commercial developments. Design guidelines are set forth in MCMC Section 17.34.040.B. Commercial and Business Park/Industrial Building Design.

The applicant has submitted for building elevations only. Landscaping was previously approved by the DRB in January 2017.

**PART III – BACKGROUND AND PROJECT DESCRIPTION**

The existing site is zoned Business and Industrial Park - BP, and a mini-storage facility is a permitted use in the BP zone district.

On October 12, 2016, the City of Mill Creek Hearing Examiner approved the Binding Site Plan to develop 1.45 acres of a 4.81 acre site with a self-storage facility comprised of 48,060 square feet of

building space split between one 3-story building and two smaller 1-story buildings. The proposed development includes associated infrastructure with parking and landscaping. Access to the site will be from the Bothell-Everett Highway (SR 527) via a drive shared with the Mill Creek Commons Office Building. Nickel Creek runs through the site and the buildings are surrounded by critical areas on the south, east and west, see attached **Attachment 3 – Site Plan**.

On January 19, 2017, the DRB reviewed and approved the subject landscape plan for this proposal, and the approved landscape plan has been attached for your reference, see **Attachment 7 – Approved Landscape Plan**.

#### **PART IV – PROJECT ANALYSIS**

Below is an analysis and summary of the consistency of the proposal with the City’s Design Guidelines:

##### **Building Elevation Criteria**

The Code requires that buildings incorporate modulation to reduce the overall bulk and mass of buildings and to avoid blank walls. In addition, building design shall incorporate traditional building materials such as masonry, stone, stucco, heavy timbers, brick, and other natural appearing materials. Building colors should accent, blend with, or complement surroundings. Bright or brilliant colors should be reserved for trim and accents. The City’s building design objectives call for a consistent visual identity to be applied to all sides of buildings visible to the general public with an equivalent level of quality of materials, detailing, and window placement.

In addition, the Code requires outdoor mechanical equipment to be screened from view, including ground level and rooftop mechanical and communication equipment. The method of screening shall be architecturally integrated with the building with respect to materials, color, shape, and size.

##### **Proposal – Building Elevations, Materials and Colors**

This is Phase II of Clock Tower Storage and these three buildings will share the main office located in Phase I at 16618 Bothell-Everett Highway (SR 527). The layout of the buildings and the shared access drive with The Mill Creek Commons building from SR 527 is shown on **Attachment 3 – Site Plan**. Access into the site will be one-way and secured with a black metal gate and security code for safety and security for the customers.

All three buildings on-site are proposed to have a consistent appearance utilizing a variety of nine commercial grade materials of metal, cement board and concrete masonry unit (CMU) in hues of grey, tan and rose brown, see **Attachment 1 – Material Board**. Buildings A and C will both be one-story located on the east and west sides of Building B, which will be three-stories in height and located in the center of the site. All buildings, which are required to be sprinkled, will have a CMU base in a ground face Natural and split face Rose Brown striped pattern with a metal roof and gutters. Roof caps are proposed in the colors of Colonial Red or Ash Grey. Windows are not proposed on the west and south sides of all the buildings to minimize light and glare into the critical areas and to allow for maximum use of storage. Security lighting only is proposed on the exterior of the buildings and parking lot lighting. See **Attachment 2 – Three-Dimensional Colored Elevations**.

Building A is located on the eastern boundary of the site along SR 527 and is proposed to be 15 feet in height. This building will be partially visible from the SR 527 right-of-way. The eastern façade will

have windows trimmed colonial red metal with an architectural peak to break up the wall expanse. Access to the storage units are on the western façade with one door (no awning proposed) and a window. The northern façade will have windows with an awning to create a storefront appearance at the driveway entry with a faux parapet. On the south elevation, the applicant is proposing to break up the expanse by using three different colors and two different materials. See **Attachment 4 – Building A Elevations**.

Building B is located in the center of the site and is proposed to be 39 feet in height with an elevator. On the northern façade, a large window will create a focal point and occupy the second and third floors and allow visibility into the building, see **Attachment 5 – Building B Elevations**. Canopies are shown on both the east and western facades on **Attachment 5**, but are not shown on **Attachment 2**. The canopy on the western side of Building B extends to the roofline of Building C to serve as a covered load and unloading area. Staff recommends use of the canopies to be consistent with City's Design Standards. The eastern façade has windows in the center portion of the building to provide visual interest and to match Building A.

Building C is located on the western portion of the developable site and abuts a slope which drops down to the west to a wetland. On the north façade is the only portion of the building that is visible from SR 527. The applicant is proposing the patterned CMU wall which matches the other buildings and the parapet extends above the roofline to provide visual interest, see **Attachment 6 – Building C Elevations**. The east façade has storage unit doors and several access doors. Both the southern and western façades are solid metal siding in Light Grey as they face the critical areas and are not visible to the public.

All roof top mechanical equipment is proposed to be enclosed from view from the public right-of-way.

As proposed, staff believes that the building elevations are generally in compliance with the design guidelines contained in the Code and is recommending approval with the following two conditions of approval:

- Building A on the western façade install an awning over the access door.
- Building B shall include canopies on the eastern and western facades as shown on Attachment 5.

#### **Trash Enclosure Criteria:**

The Code requires that dumpster enclosures shall reflect building architecture of the adjacent building and be compatible with adjacent project designs. This shall include consideration of proportion, color, texture, and materials. Ground level outdoor enclosures shall be composed of materials similar to the main structure.

#### **Proposal - Trash Enclosure**

At this time, the applicant has not shown a design for the 14' x 12' trash enclosure that is shown on the south end of Building B. Should the applicant decide to install an outside trash enclosure, then the structure shall be located not to impede traffic flow and designed to coordinate with the building materials, see **Attachment 1- Material Board** and **Attachment 3 – Site Plan**.

As proposed, staff is recommending a condition of approval that if a trash enclosure is installed the design shall be consistent with MCMC 17.34.040.8 and a building permit shall be submitted and

approved prior to installation.

**Fencing Criteria:**

The Code (MCMC 17.22.040) allows wood and black vinyl chain link in nonresidential zones. No fence or boundary structure shall exceed 78 inches in height from the finished grade. Arbors, trellises and other gate treatments may extend up to 90 inches from finished grade, provided such arbor, gate or trellis width does not exceed six feet. No fencing is permitted within the roadway buffer tracts.

**Proposal - Fencing**

The applicant is proposing black metal security fencing to control access in and out of the site at the driveway from SR 527. The height would not exceed 78 inches. **Attachment 2 – Three Dimensional Color Elevations** for fence and gate locations and details.

As proposed, staff is recommending a condition of approval that a building permit be submitted and approved prior to installation.

**PART V - FINDINGS, CONCLUSIONS, AND RECOMMENDATION**

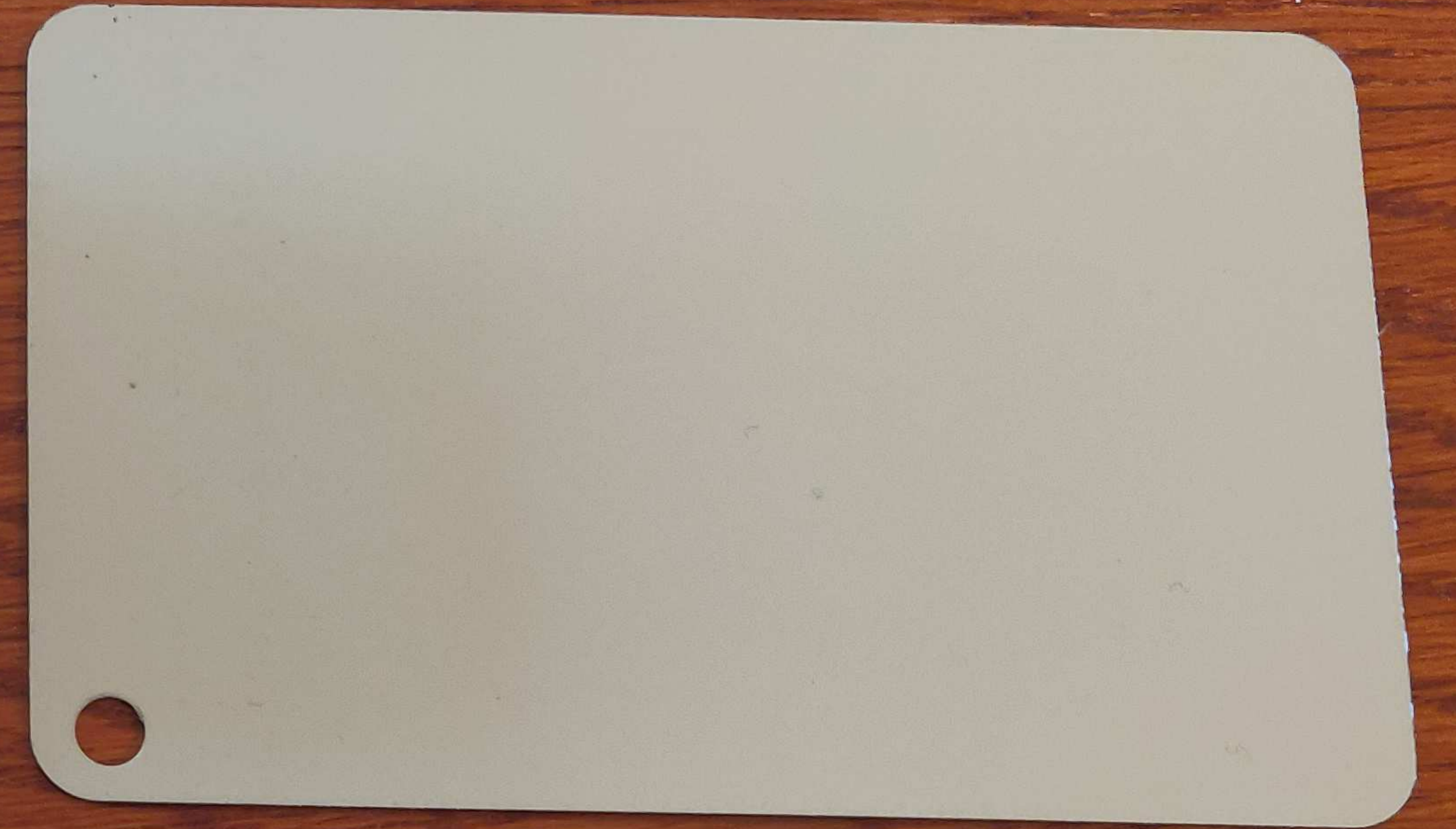
Having viewed the property and reviewed the application, City staff finds that the proposed building elevations and material will be consistent with the design guidelines set forth in MCMC Section 17.34.040 and is recommending approval subject to the following conditions.

1. The building elevations, materials, colors, and design shall be as portrayed in the application and the following revisions:
  - a) Building A on the western façade an awning shall be installed over the access door.
  - b) Building B shall include the canopies as shown on the eastern and western facades on Attachment 5.
2. If a trash enclosure is installed the design shall be consistent with MCMC 17.34.040.8 and a building permit shall be submitted and approved prior to installation.
3. A building permit is required to be submitted and obtained for the proposed black metal fencing and gates prior to installation.

**ATTACHMENTS:**

- Attachment 1 - Material Board**
- Attachment 2 – Three Dimensional Color Elevation**
- Attachment 3 – Site Plan**
- Attachment 4 – Building A Elevations**
- Attachment 5 – Building B Elevations**
- Attachment 6 – Building C Elevations**
- Attachment 7 – Approved Landscape Plan**







Building B

Building A

Building C

Shared Access Drive

North 

Building B

Building A

Building C

SR 527

North



Building B

Building C

Building A

SR 527

North





Building B

Building A

Building C

Shared Access Drive

Bothell-Everett Highway  
(SR 527)

North →

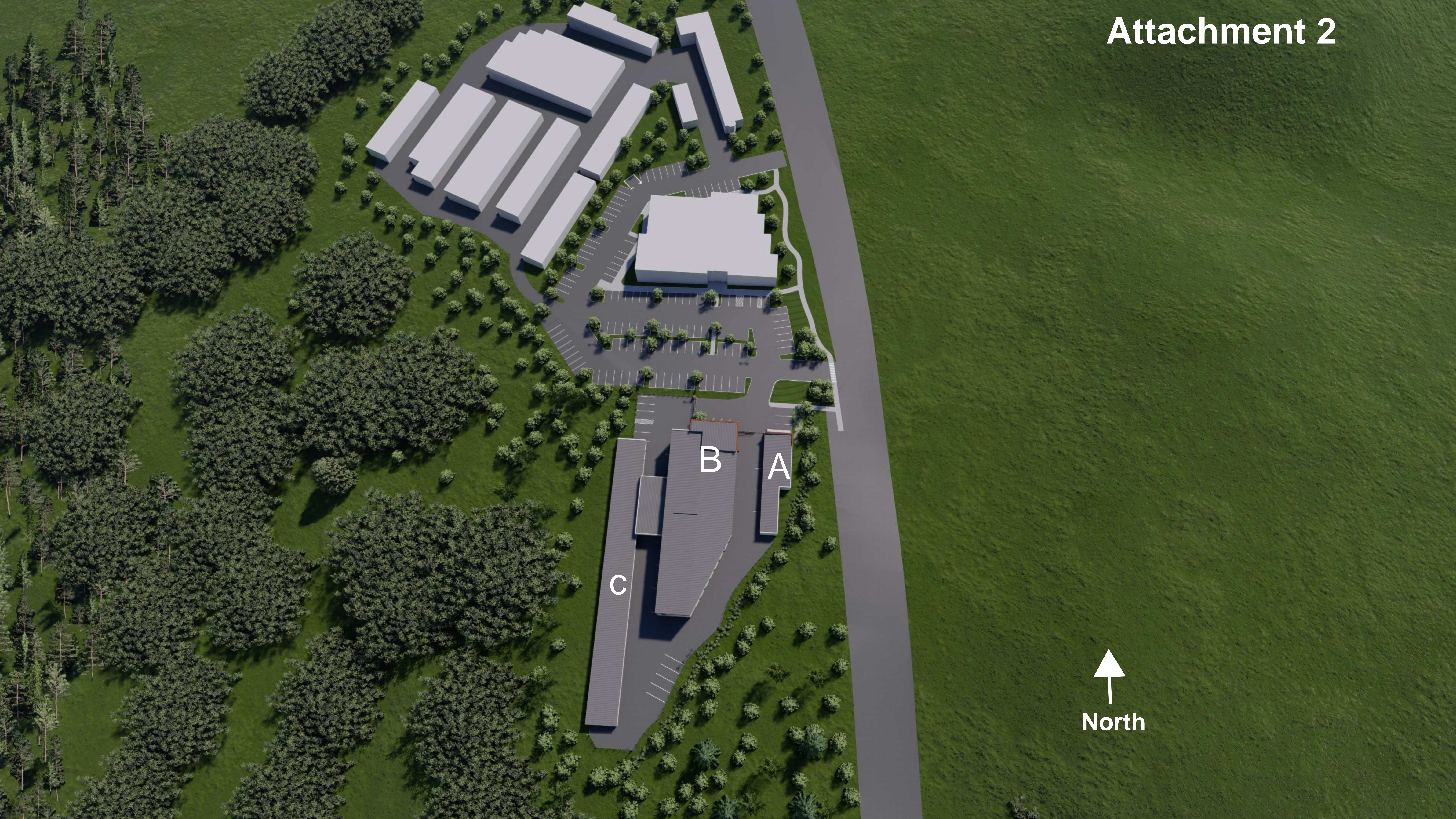


Building B

Building A

Building C

Bothell-Everett Highway  
(SR 527)



C

B

A





Building A

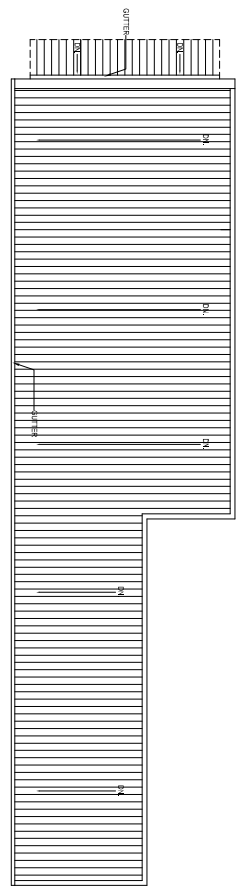
Building B

Building C



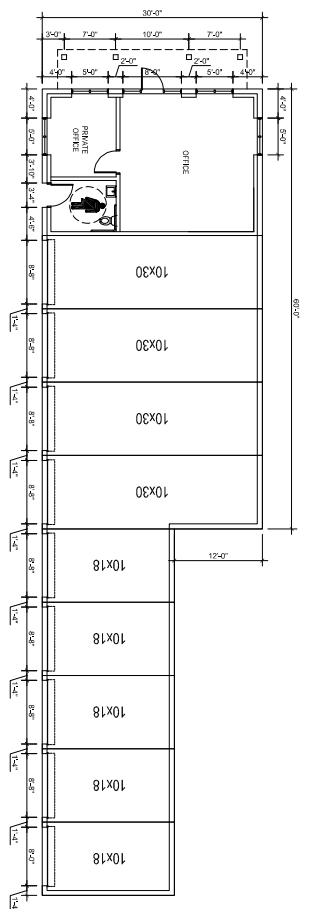


# Attachment 4



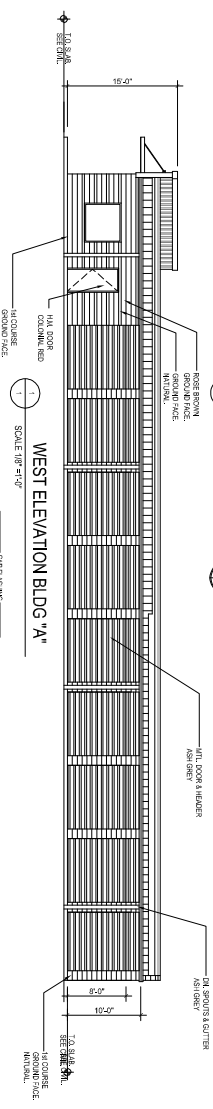
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2-2 SCALE 1/8"=1'-0"

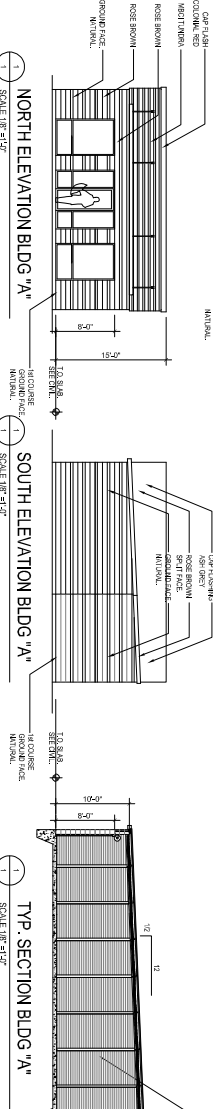


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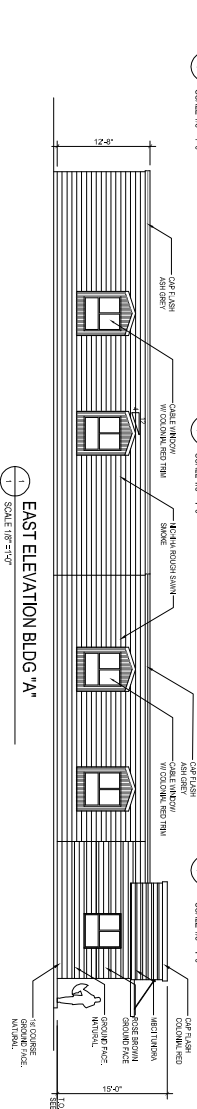


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Mill Creek Commons Phase II, Ilc

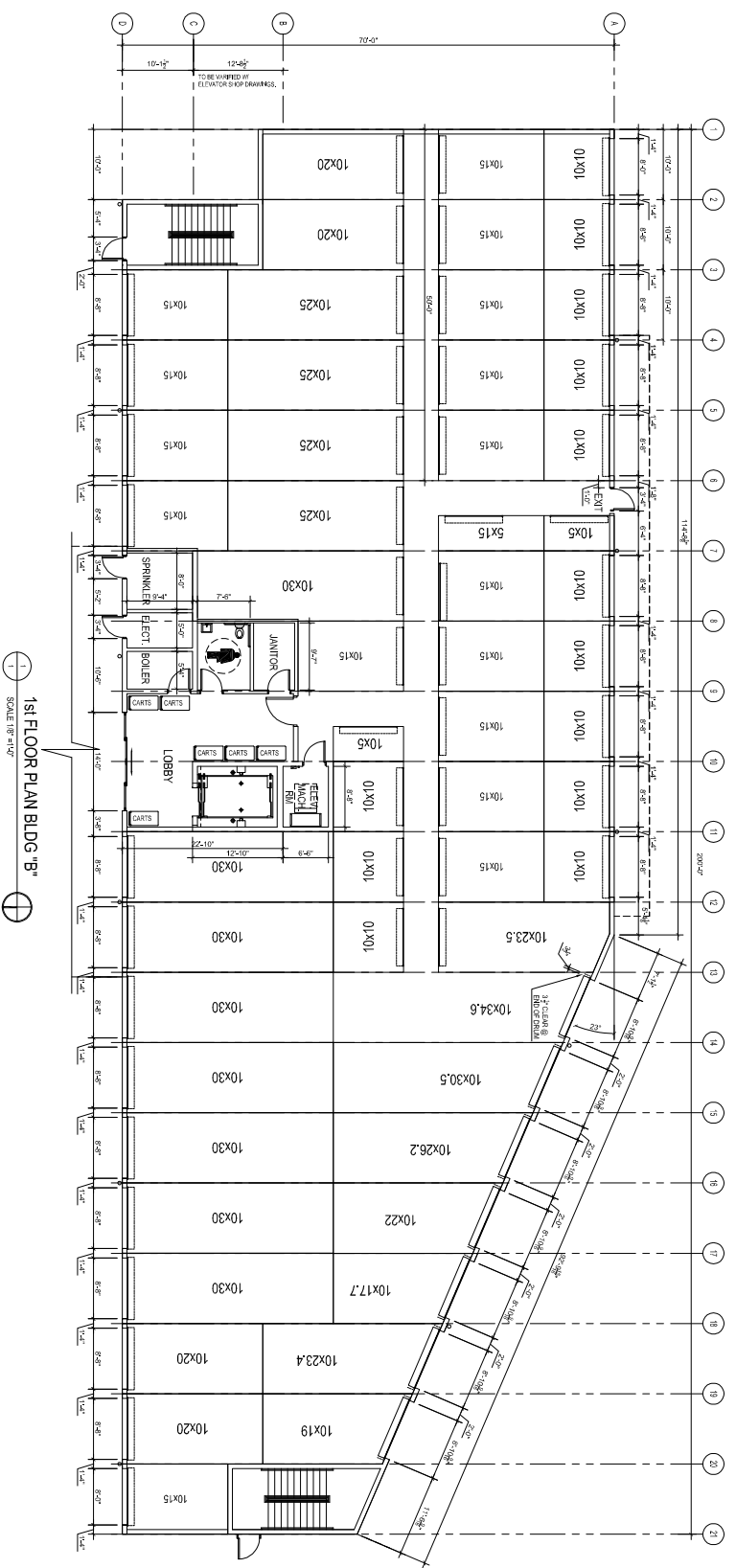
SITE PLAN

BLDG. B  
1st FP

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FOR REVIEW ONLY



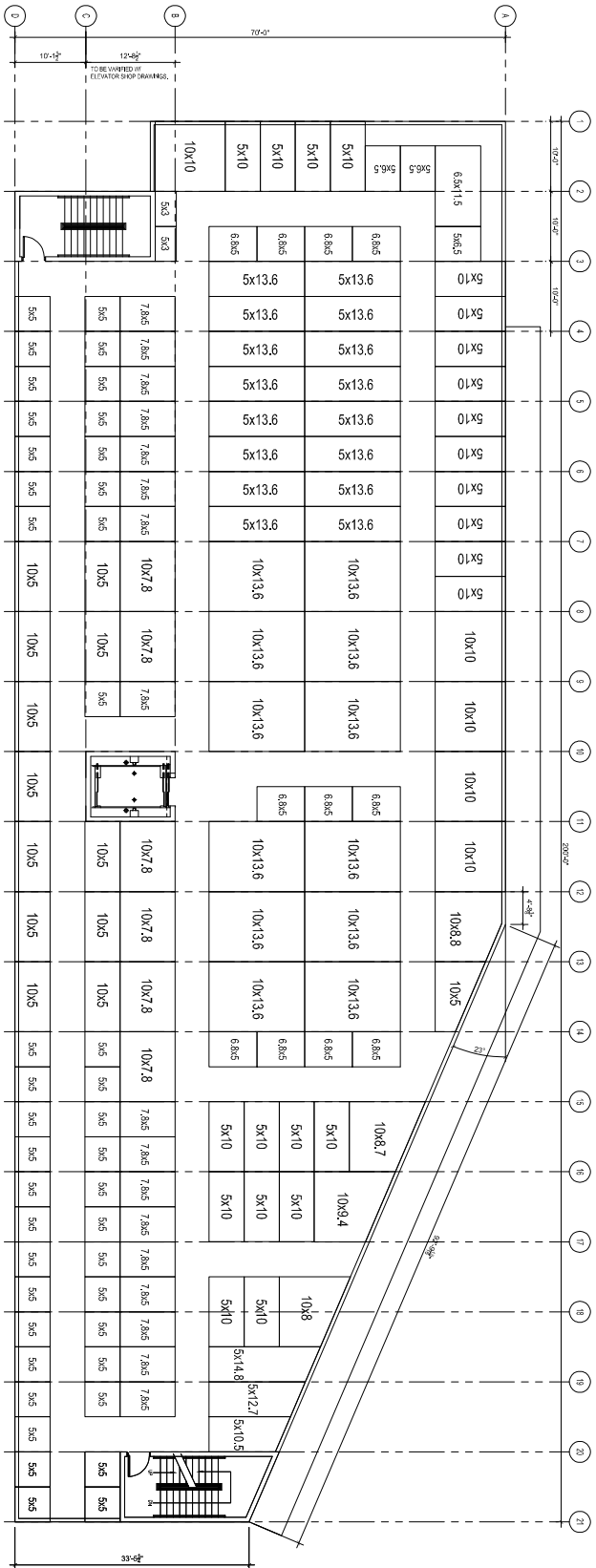
1st FLOOR PLAN BLDG. "B"  
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# Mill Creek Commons Phase II, IIC SITE PLAN

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Comments	

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2ND FLOOR PLAN BLDG. "B"  
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FOR REVIEW ONLY

Attachment 5

Moore  
Design  
Associates

15504 SE 18th Street  
Belleme, VA, 28007  
(425) 941 - 1040  
mooredesign@comcast.net

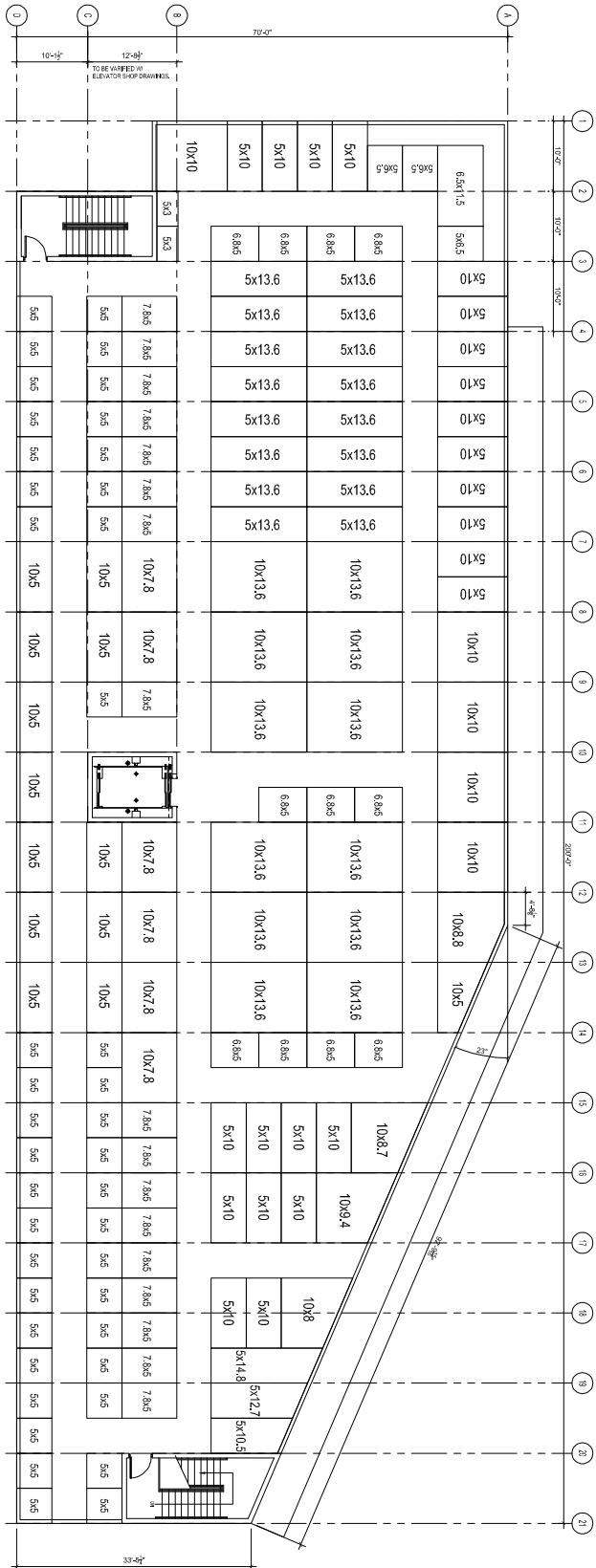
Mill Creek Commons Phase II, Ilc

SITE PLAN

BLDG. B  
3rd FP

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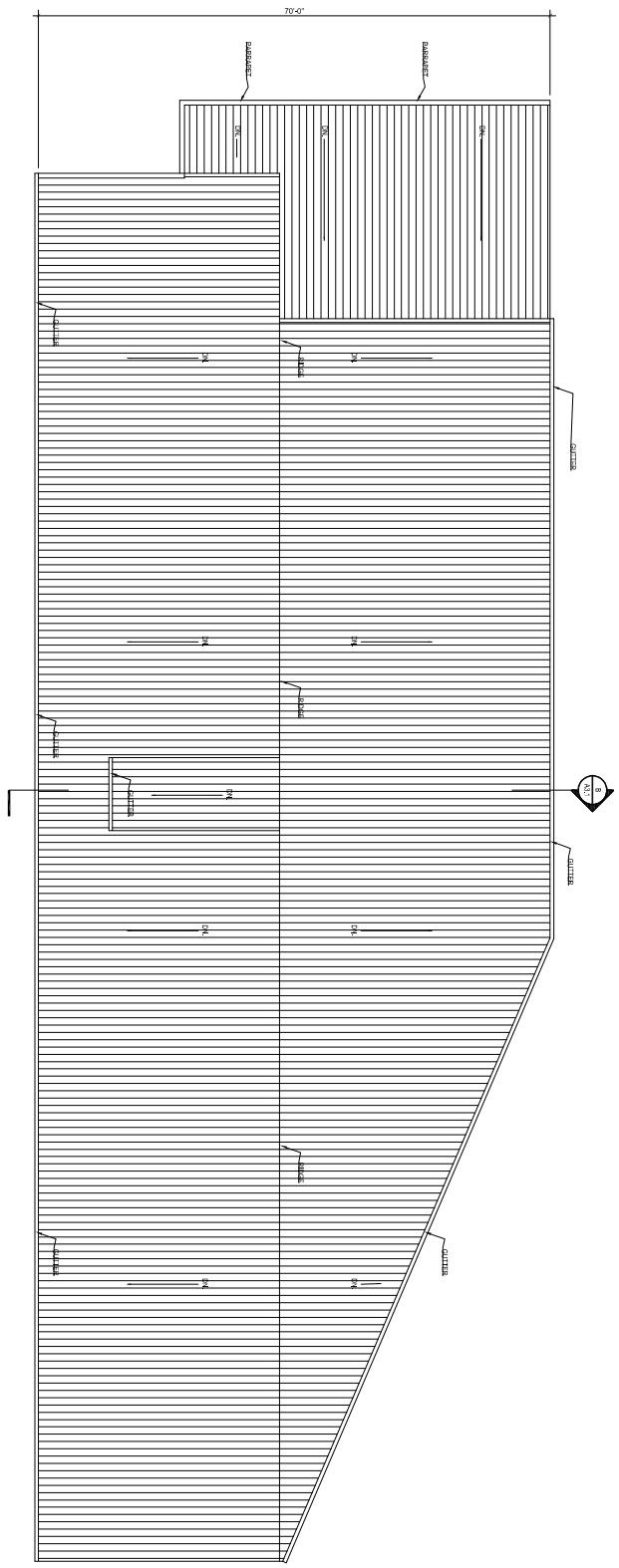
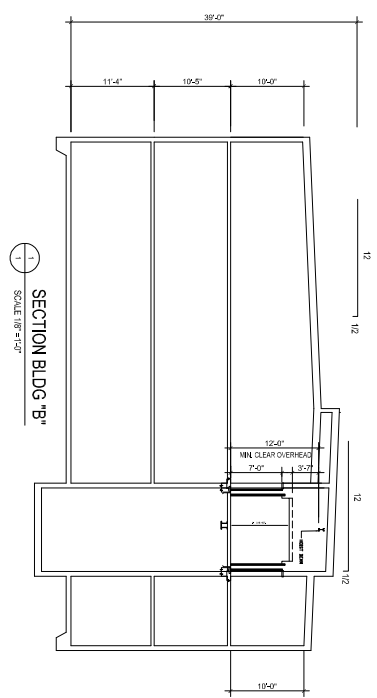


3rd FLOOR PLAN BLDG. "B"  
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FOR REVIEW ONLY

**More**  
design  
**A** Associates

15504 SE 16th Street  
Bellevue, WA 98007  
(425) 941-1040  
more@morea.com



## SITE PLAN

Mill Creek Commons Phase II, llc

THE  
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"C"  
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Rev. Date \_\_\_\_\_  
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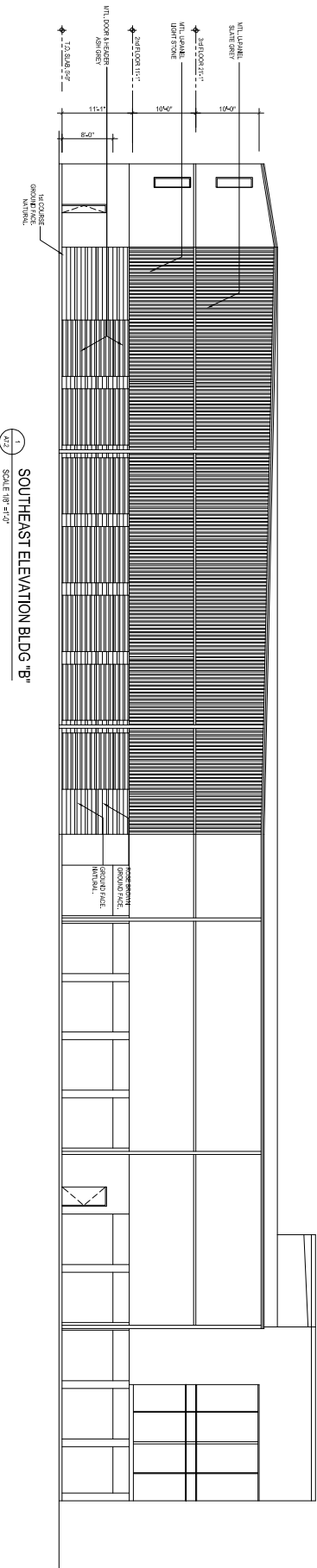
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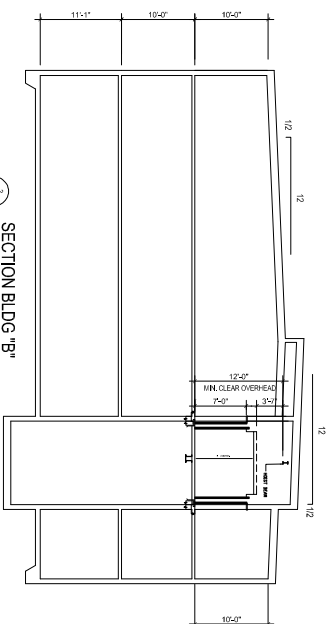
# Attachment 5

**M**oore  
**D**esign  
**A**ssociates

15504 SE 18th Street  
Bellevue, VA, 98007  
(425) 941-1640  
gmoore@mooredesign.com



1  
4.2.2  
SOUTHEAST ELEVATION BLDG. "B"  
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4.2.3  
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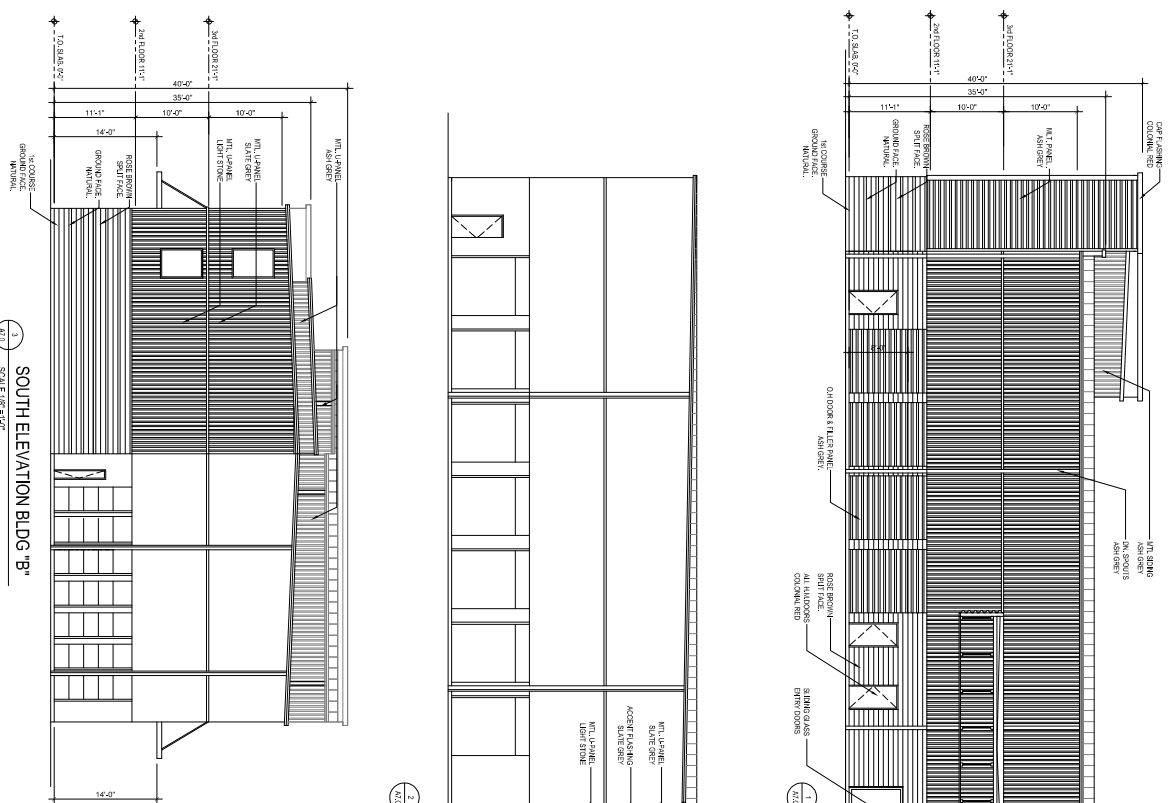
## Mill Creek Commons Phase II, IIC

### SITE PLAN

**BLDG. B  
ELEVS.**

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MILL CREEK COMMONS BLDG. A  
 MILL CREEK COMMONS BLDG. B  
 MILL CREEK COMMONS BLDG. C  
 MILL CREEK COMMONS BLDG. D

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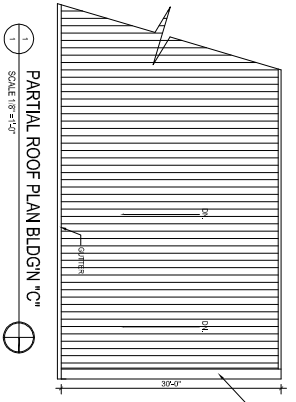
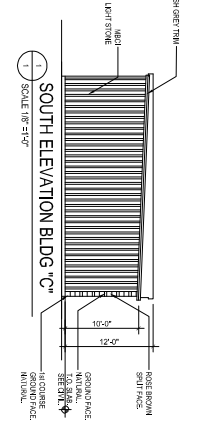
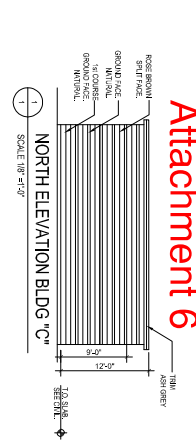
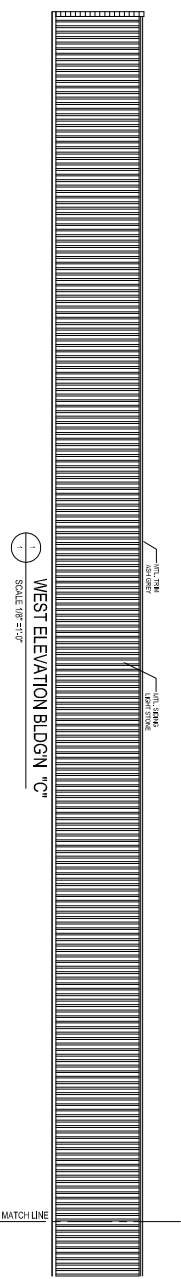
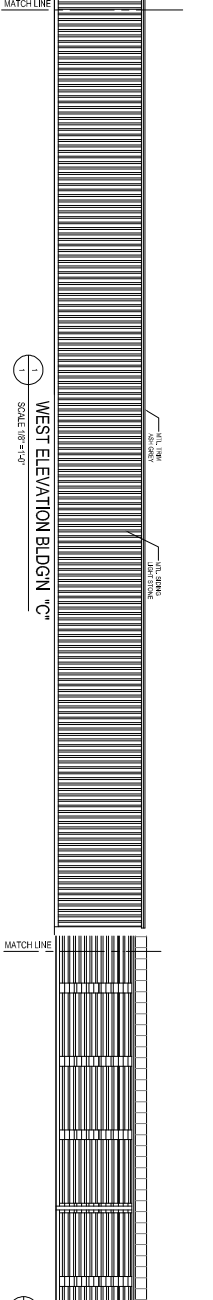
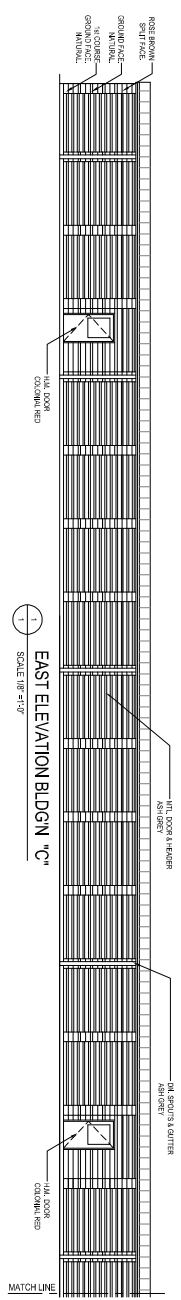
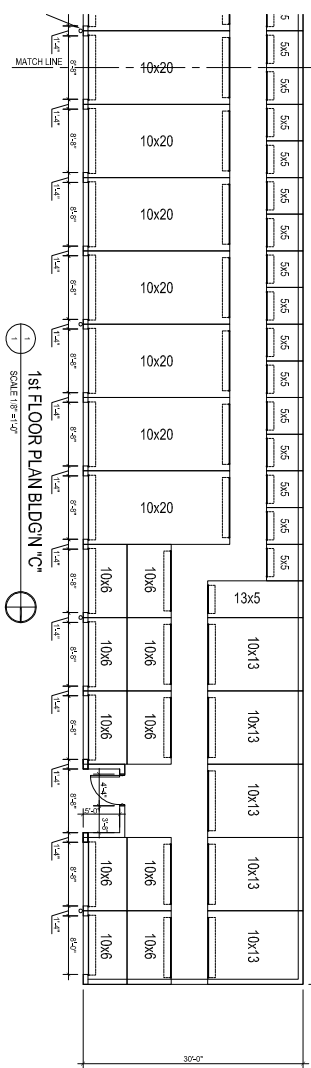
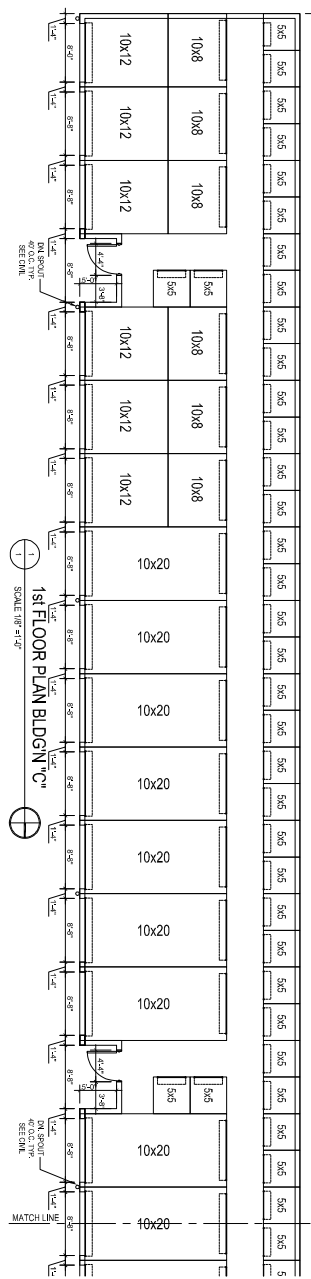
MILL CREEK COMMONS BLDG. B  
 BLDG. B ELEVATIONS  
 1504 SE 18th Street  
 Raleigh, VA, 22607

THE BLDG. B ELEVATIONS  
 1504 SE 18th Street  
 Raleigh, VA, 22607

**MORE DESIGN ASSOCIATES**  
 1504 SE 18th Street  
 Raleigh, VA, 22607  
 (435) 941-1640  
 gmoore@designassociatesva.com



# Attachment 6



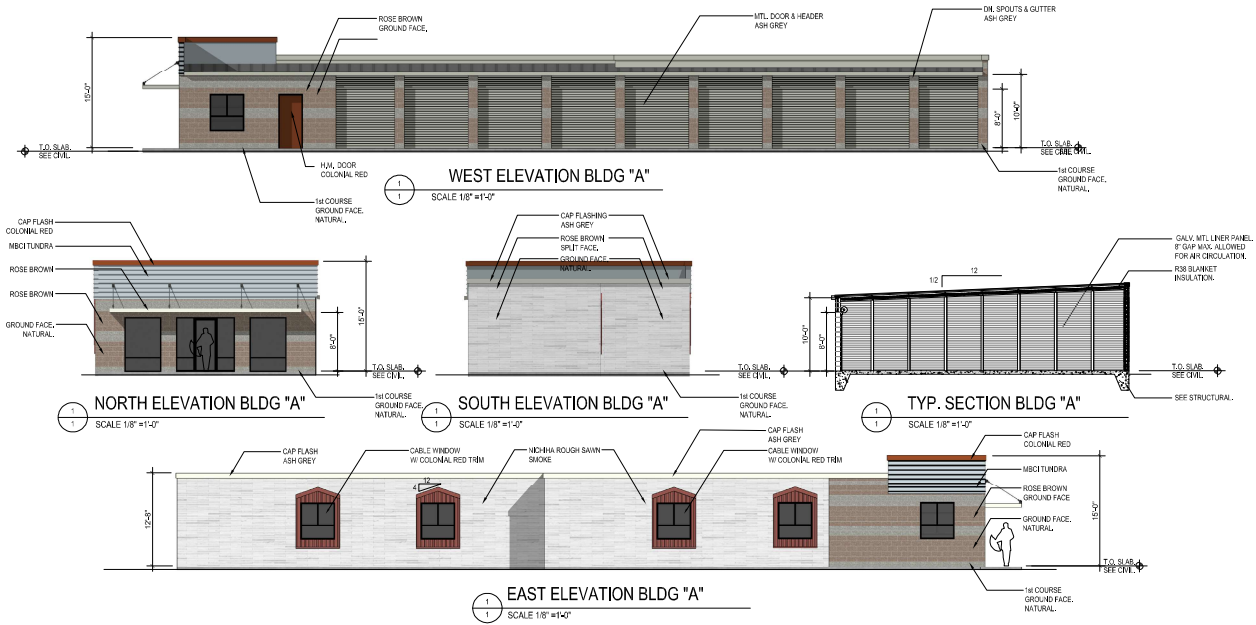
**M**core  
**D**esign  
**A**ssociates  
1504 SE 18th Street  
Belleme, VA, 26007  
(425) 941-1640  
gmoore@designmcore.com

## Mill Creek Commons Phase II, llc SITE PLAN

**THE BLDG'N. "C"**  
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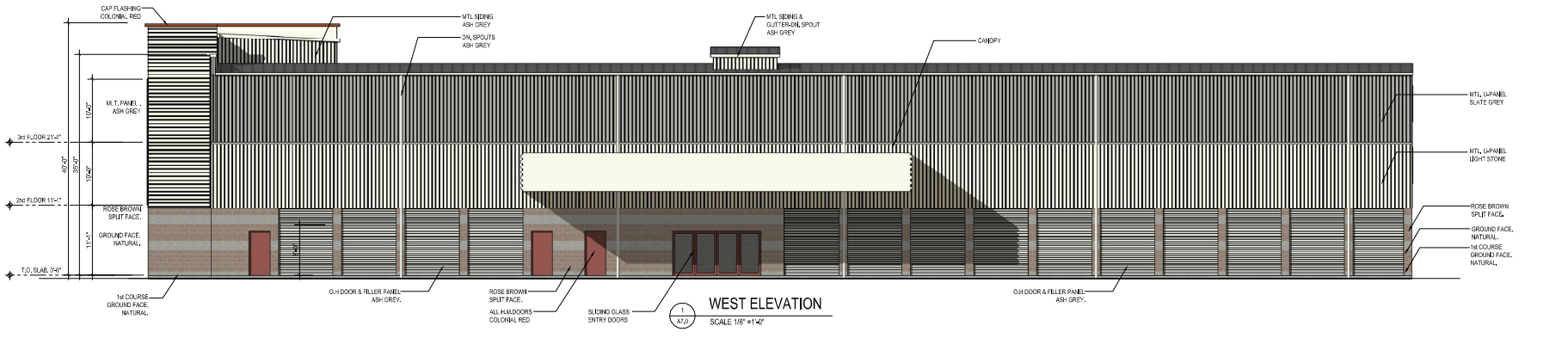
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ELEVS.**

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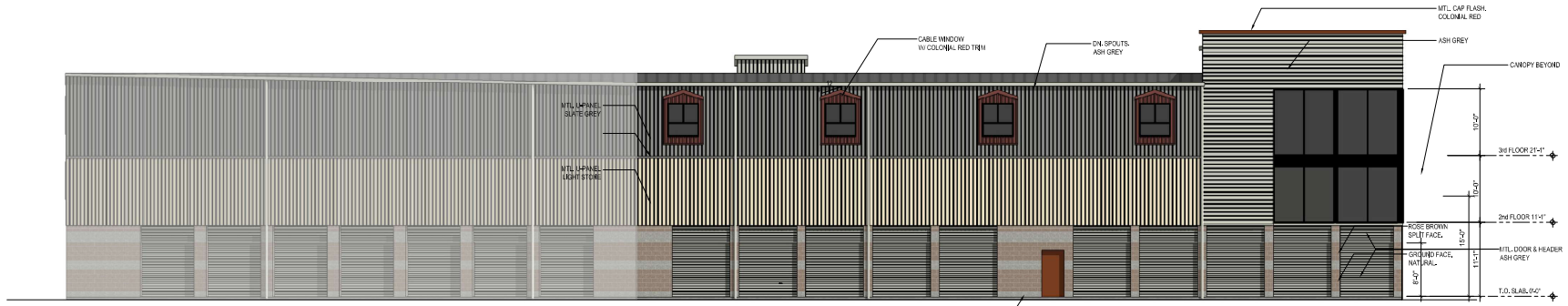
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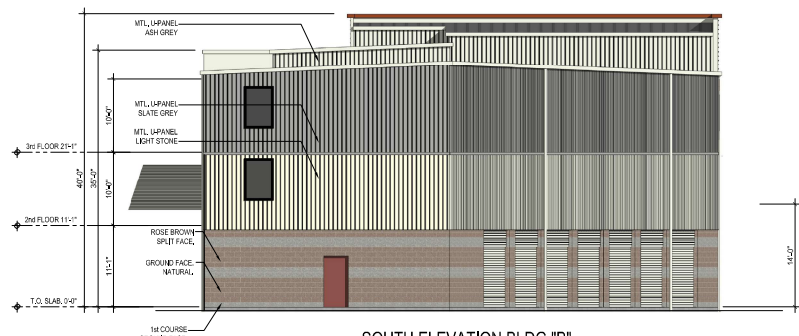
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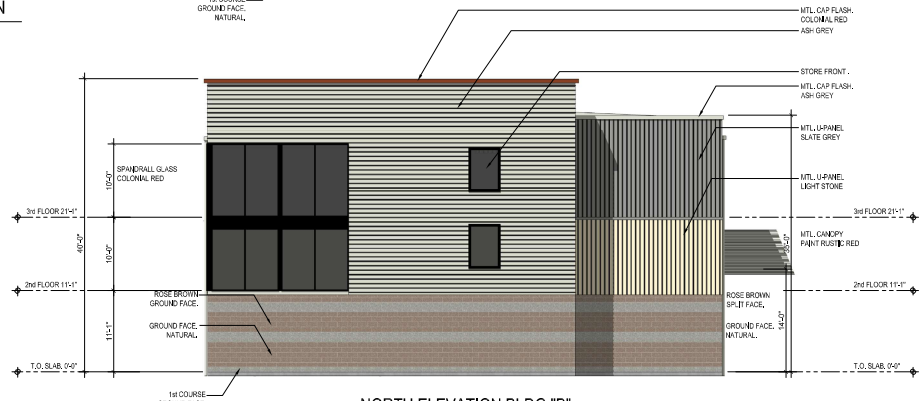
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**EAST ELEVATION**  
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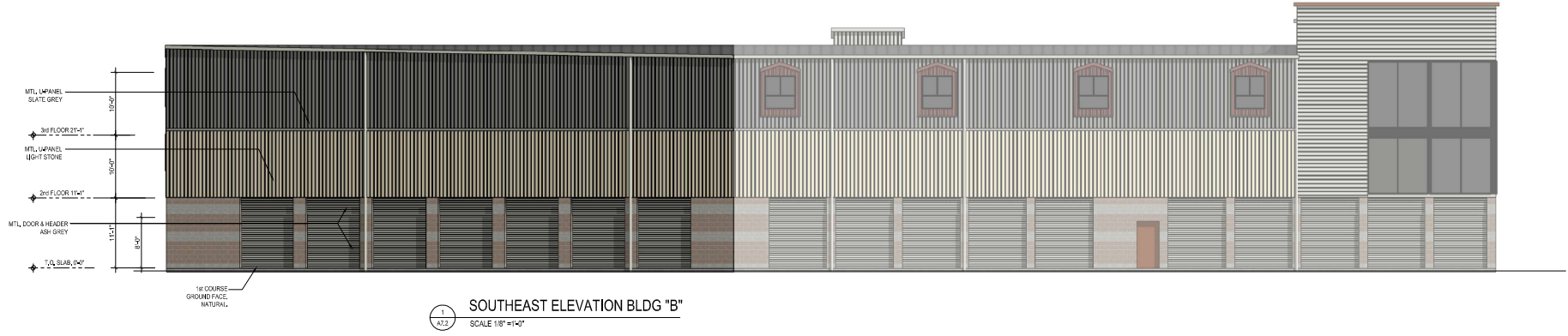


**SOUTH ELEVATION BLDG "B"**  
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**NORTH ELEVATION BLDG "B"**  
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FOR REVIEW ONLY



**SOUTHEAST ELEVATION BLDG "B"**  
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ELEV.**

Revisions  
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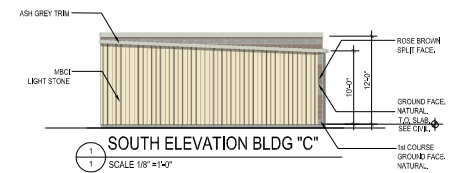
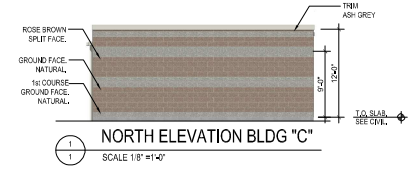
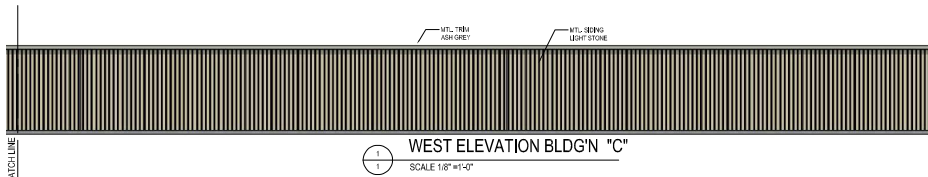
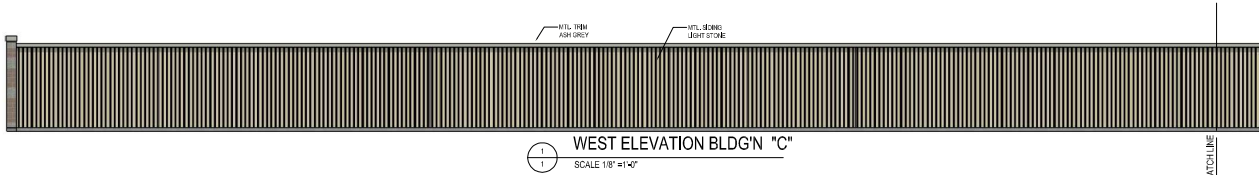
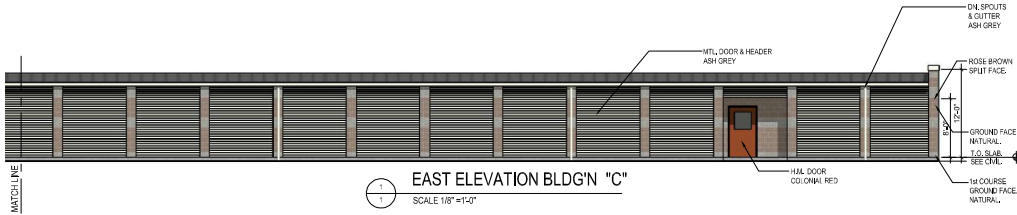
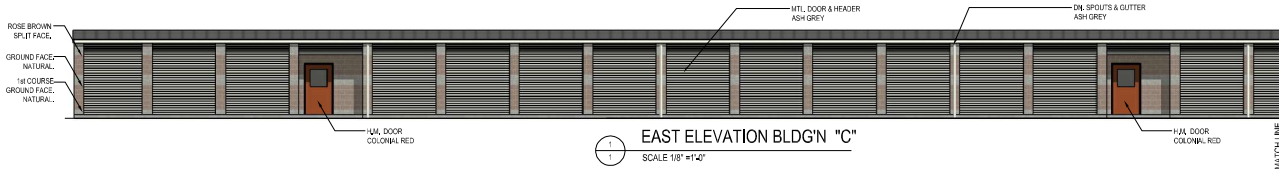

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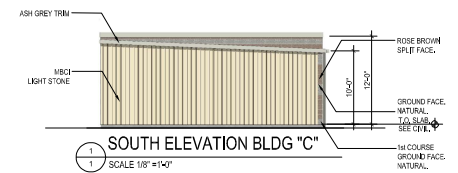
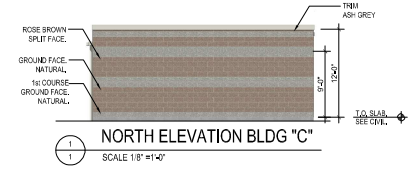
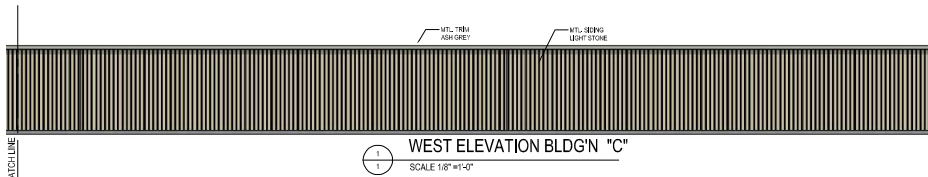
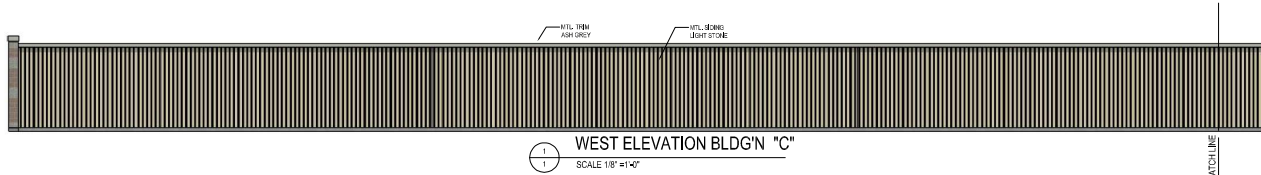
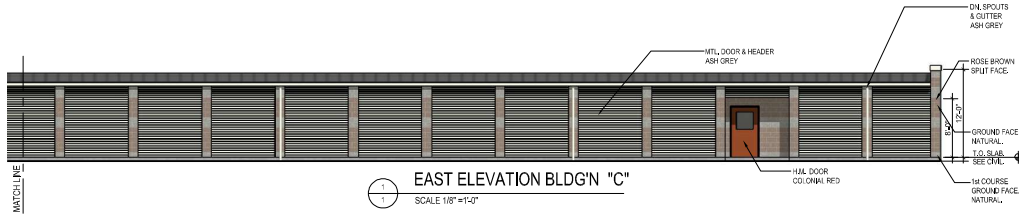
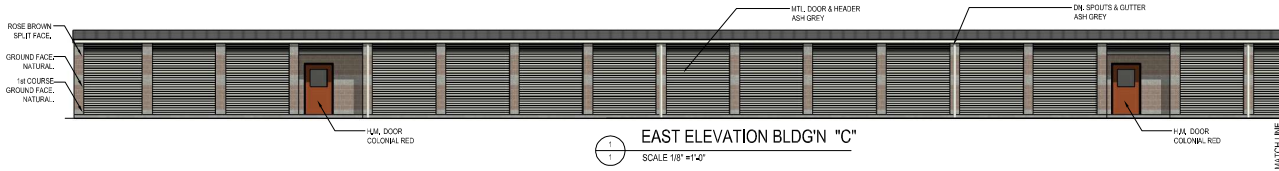
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Consultant:

Sheet

**A7.2**





PROJECT PLANT PHOTOS



KOUSA DOGWOOD



SERVICEBERRY



SLENDER HINOKI CYPRESS



DWARF OTTO LUYKEN CHERRY LAUREL



KELSEY'S RED-OSIER DOGWOOD



GULF STREAM NANDINA



TALL OREGON GRAPE



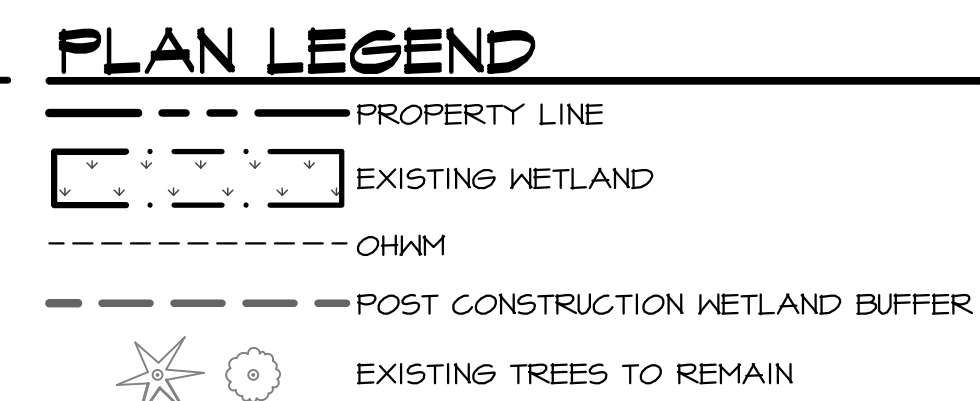
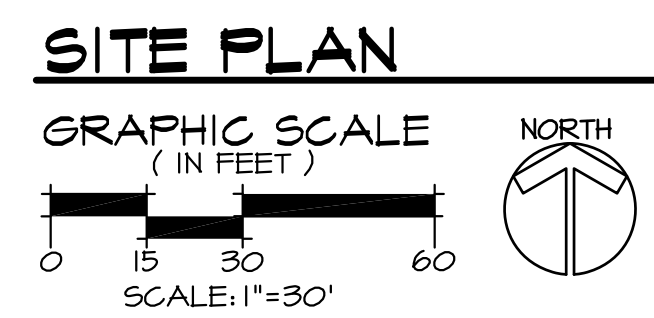
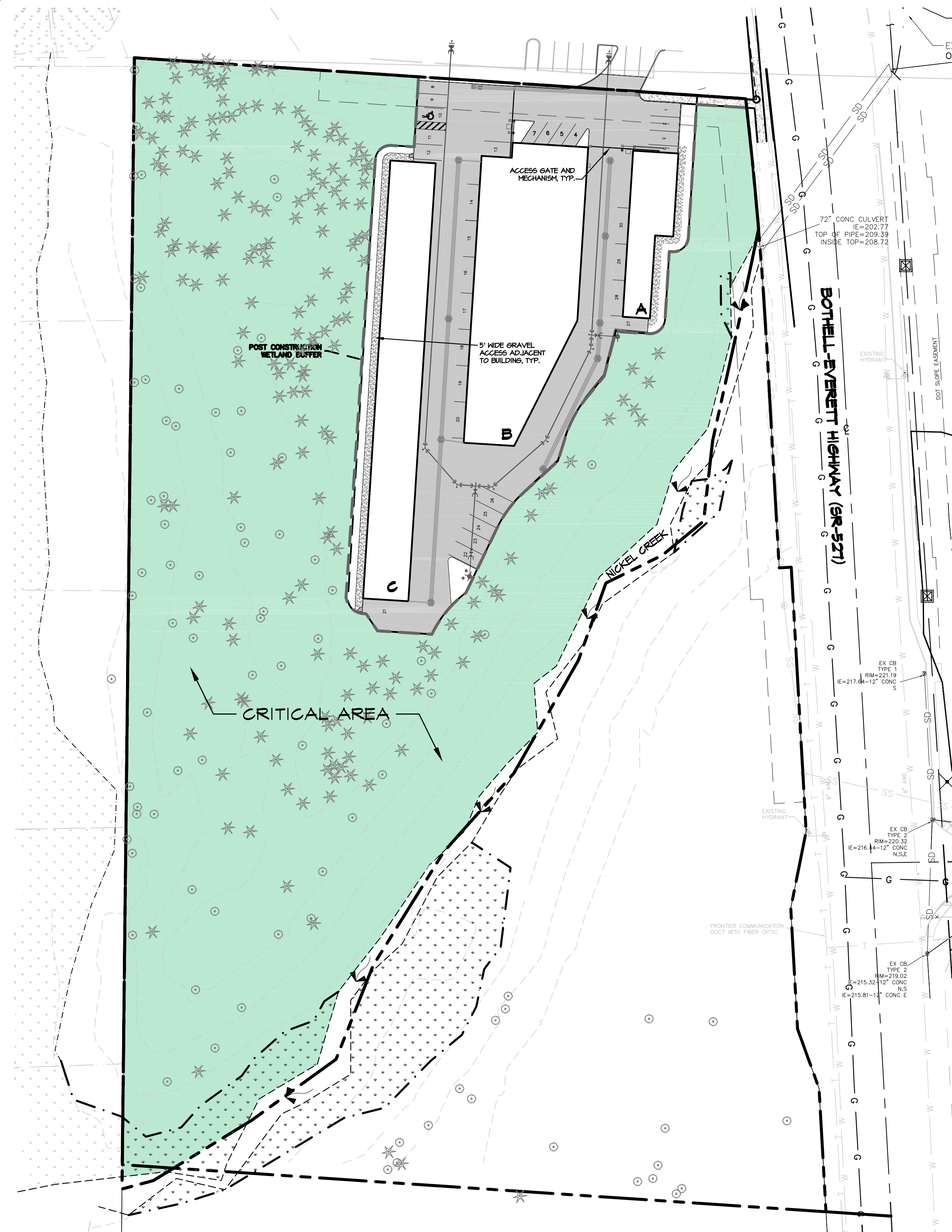
ROTSTRAHLBUSCH SWITCHGRASS



SNOWBERRY



DAVID'S VIBURNUM



- Conditions of Approval Per DRB Meeting 1-19-17:
- 3. Wheel stops or another suitable mechanism will be required to protect the landscaping from vehicles pursuant to MCMC Section 17.34.040.H.2.c.
  - 4. Edging shall be installed between graveled areas and landscape beds.

DETERMINED TO BE IN COMPLIANCE WITH APPLICABLE ZONING REGULATIONS AND SPECIAL CONDITIONS OF APPROVAL, IF ANY

*Christi Stued* 01/20/2017  
DEPT. OF COMMUNITY DEVELOPMENT OFFICIAL



- NOTES**
- SURVEY PROVIDED BY ALPHA SUBDIVISION PRO'S, INC., (425) 252-1884.
  - SITE PLAN PROVIDED BY OMEGA ENGINEERING, INC. (425) 381-3820.
  - SOURCE DRAWING WAS MODIFIED BY TALASAEA CONSULTANTS FOR VISUAL ENHANCEMENT.

APPROVED FOR CONSTRUCTION

BY: \_\_\_\_\_  
CITY OF MILL CREEK  
DEPARTMENT OF PLANNING

DATE: \_\_\_\_\_

**TALASAEA**  
CONSULTANTS, INC.  
Resource & Environmental Planning  
15020 Bear Creek Road Northeast - Woodinville, Washington 98077  
Ph: (425) 881-7668 - Fax: (425) 881-7048

LANDSCAPE PLAN - DESIGN REVIEW  
SITE PLAN OVERVIEW & PROJECT PLANT PHOTOS  
MILL CREEK COMMONS - PHASE 2  
MILL CREEK, WASHINGTON

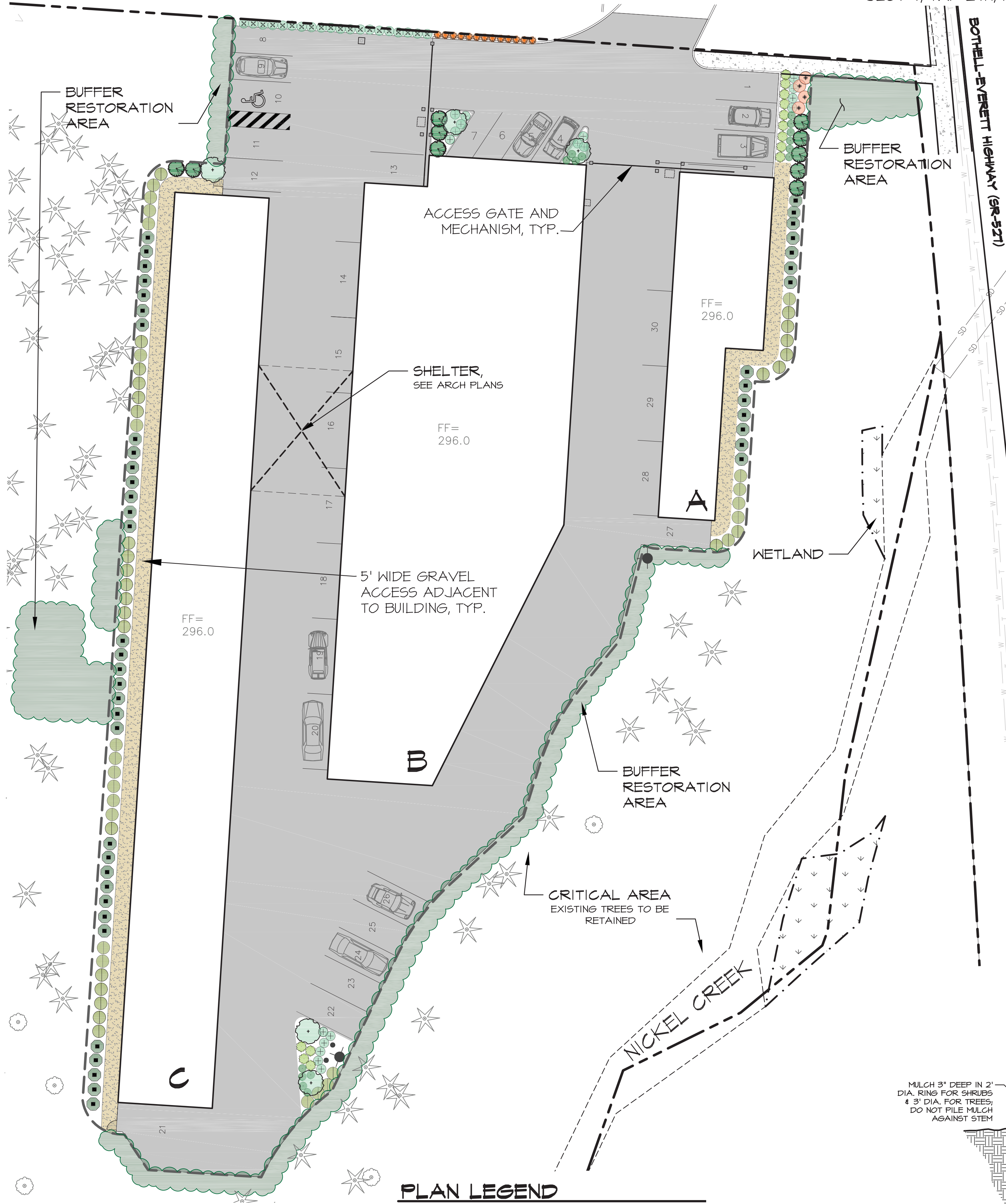
Revisions	Date	By

Date: 1-3-2017  
Scale: AS SHOWN  
Designed: OA/AO  
Drawn: ABS/OA  
Checked: AO  
Approved: BS

Project # 1197

Sheet # 110

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2. DRAWING L100-180-1101/1102/1103/1104/1105/1106/1107 DP PHIL12-2016\_COLORED\_BLOCKS.DWG  
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**PLANT SCHEDULE**

TREES		QTY.	SPACING	SIZE AT INSTALLATION	SIZE AT MATURITY	NOTES	NATIVE
SCIENTIFIC NAME	COMMON NAME						
AMELANCHIER ALNIFOLIA	SERVICEBERRY	4	4' O.C.	1.5" DBH (MIN)	20'	MULTI TRUNK, WELL BRANCHED	X
CHAMAECYPARIS OBTUSA 'GRACILIS'	SLENDER HINOKI CYPRESS	8	5' O.C.	8' MIN.	15'	FULL & BUSHY	-
CORNUS KOUSA	KOUSA DOGWOOD	5	AS SHOWN	1.5" DBH (MIN)	20'	SINGLE TRUNK, WELL BRANCHED	-

PARKING LOT TREE REQUIREMENTS: ONE TREE FOR EVERY FOUR PARKING SPACES (1:4) SHALL BE PROVIDED IN SURFACE PARKING LOTS. THESE TREES MAY BE DISTRIBUTED WITHIN AND AROUND THE PERIMETER OF THE PARKING LOT. (30 SPACES / 4 = 8 PARKING LOT TREES)

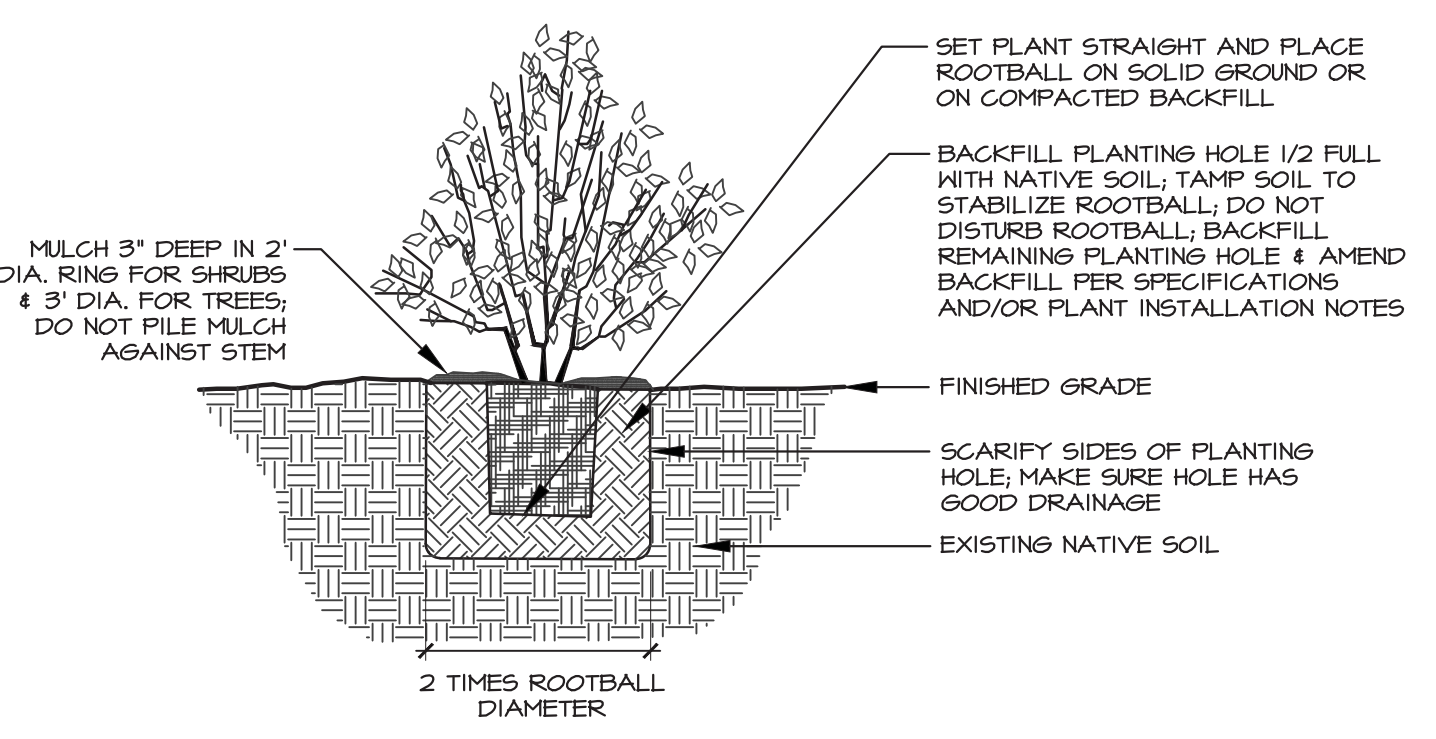
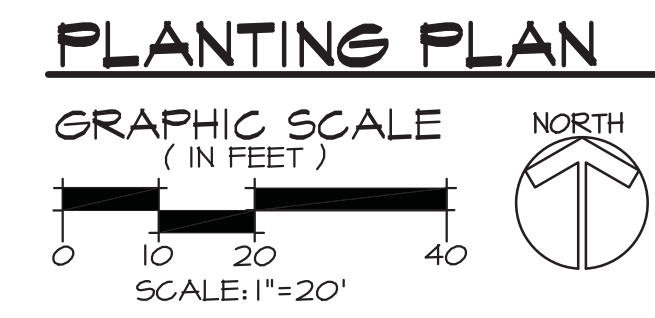
SHRUBS		QTY.	SPACING	SIZE AT INSTALLATION	SIZE AT MATURITY	NOTES	NATIVE
SCIENTIFICNAME	COMMONNAME						
CORNUS ALBA 'KELSEYI'	KELSEY'S RED-OSIER DOGWOOD	15	2.5' O.C.	2 GAL., 18" HT. MIN.	2.5'	MULTI-CANE (3 MIN.)	X
NANDINA DOMESTICA 'GULF STREAM'	GULF STREAM NANDINA	20	3' O.C.	2 GAL., 18" HT. MIN.	3'	FULL & BUSHY	-
MAHONIA AQUIFOLIUM	TALL OREGON GRAPE	46	4' O.C.	2 GAL., 18" HT. MIN.	8'	FULL & BUSHY	X
PANICUM VIRGATUM 'ROTSTRAHLBUSCH'	ROTSTRAHLBUSCH SWITCHGRASS	13	2.5' O.C.	1 GAL., 12" HT. MIN.	4'	FULL & BUSHY	-
PRUNUS 'OTTO LUYKEN'	DWARF OTTO LUYKEN CHERRY LAUREL	18	3' O.C.	2 GAL., 18" HT. MIN.	4'	FULL & BUSHY	-
SYMPHORICARPOS ALBUS	SNOWBERRY	53	4' O.C.	2 GAL., 18" HT. MIN.	5'	MULTI-CANE (3 MIN.)	X
VIBURNUM DAVIDII	DAVID'S VIBURNUM	12	3' O.C.	2 GAL., 18" HT. MIN.	3'	FULL & BUSHY	-

**PLANTING NOTES**

- PROTECTION OF SITE**  
LOCATE ALL EXISTING AND NEW UNDERGROUND UTILITY LINES PRIOR TO ANY CONSTRUCTION. SAVE AND PROTECT EXISTING TREES DESIGNATED TO REMAIN. REPAIR ANY DAMAGE DONE TO CURBS, SIDEWALKS, FENCES, AND ANY OTHER DAMAGE CAUSED AS A RESULT OF THIS CONTRACT.
- SUBGRADE PREPARATION**  
REMOVE FROM SITE ALL INVASIVE WEEDS (I.E. GRASSES, BLACKBERRY, SCOTCH BROOM) AND ROCKS/DEBRIS LARGER THAN A 1" SIZE FROM PLANTING AREAS PRIOR TO PLACING TOPSOIL AND AS UNCOVERED DURING TILLING AND PLANTING. TILL ALL PLANTING AREAS TO A DEPTH OF 6" PRIOR TO PLACEMENT OF TOPSOIL UNLESS OTHERWISE NOTED ON PLANS. CORRECT SUBGRADE TO ACCOMMODATE MINIMUM TOPSOIL DEPTHS, AS NECESSARY, OR AS DIRECTED BY THE LANDSCAPE ARCHITECT OR OWNER/REPRESENTATIVE.
- TOPSOIL**  
ALL PLANTING BEDS SHALL BE AMENDED AS NECESSARY TO PROVIDE A MINIMUM 6" DEPTH OF TOPSOIL. TOPSOIL SHALL BE FERTILE, FRIABLE, SANDY LOAM SURFACE SOIL, FREE OF SUBSOIL, CLAY LUMPS, BRUSH, WEEDS, ROOTS, STUMPS, STONES LARGER THAN 1 INCH IN ANY DIMENSION, LITTER, OR ANY OTHER EXTRANEIOUS OR TOXIC MATTER HARMFUL TO PLANT GROWTH.  
**ORGANIC CONTENT:** TOPSOIL SHALL CONSIST OF ORGANIC MATERIALS AMENDED AS NECESSARY TO PRODUCE A BULK ORGANIC CONTENT OF AT LEAST 10 PERCENT AND NOT GREATER THAN 20 PERCENT, AS DETERMINED BY AASHTO-T-194.
- MULCH**  
PROVIDE 3-INCH MINIMUM DEPTH OF MEDIUM BARK MULCH IN ALL PLANTING AREAS. NOTE: MULCH SHALL BE A MINIMUM OF 3 INCHES DEEP AFTER SETTILING. IF INSTALLING WITH A BLOWER TRUCK, MULCH SHALL BE INSTALLED AT A 4-INCH MINIMUM DEPTH TO MAINTAIN A 3-INCH MINIMUM DEPTH AFTER SETTILING. MULCH SHALL BE DERIVED FROM FIR, PINE, OR HEMLOCK SPECIES AND SHALL NOT CONTAIN TRASH, ROCKS, OR OTHER DEBRIS OR MATERIALS DETRIMENTAL TO PLANT GROWTH. MULCH SHALL BE MEDIUM-COURSE GROUND WITH AN APPROXIMATELY 3-INCH MINUS PARTICLE SIZE. FINE PARTICLES SHALL BE MINIMIZED SO THAT NOT MORE THAN 30 PERCENT, BY LOOSE VOLUME, WILL PASS THROUGH A U.S. NO. 4 SIEVE.
- GRADING**  
LANDSCAPE CONTRACTOR TO BE RESPONSIBLE FOR PROVIDING AND MAINTAINING FINISHED GRADES IN ALL PLANTING AREAS AS INDICATED ON PLANS, IN TYPICAL DETAILS AND CROSS-SECTIONS AND AS DISCUSSED DURING PRECONSTRUCTION MEETINGS. VERIFY PROVISION OF ROUGH GRADE BY GENERAL CONTRACTOR OR OWNER TO PLUS/MINUS ONE-TENTH OF A FOOT. NOTIFY OWNER'S REPRESENTATIVE OF ANY DISCREPANCY OR POTENTIAL DRAINAGE PROBLEMS IN SUBGRADE PRIOR TO STARTING WORK. ALL FINAL GRADES SHALL HAVE UNIFORM EVEN SLOPES AND SMOOTH ROLLING TRANSITIONS.
- PLANT MATERIALS**  
ALL PLANTS SHALL CONFORM TO STANDARDS SET FORTH IN THE LATEST EDITION OF THE "AMERICAN STANDARD FOR NURSERY STOCK" PUBLISHED BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION. ALL DECIDUOUS TREES WITH SINGLE TRUNKS TO BE SIZE AND VARIETY AS SPECIFIED IN PLANT SCHEDULE. STRAIGHT TRUNK, SYMMETRICALLY BRANCHED, WITH LOWER BRANCHES PRUNED FOR HEAD CLEARANCE. ALL EVERGREEN TREES TO BE SIZE AND VARIETY AS SPECIFIED IN PLANT SCHEDULE WITH FULL SYMMETRICAL BRANCHING LOW TO GROUND. ALL PLANT MATERIAL TO BE NURSERY GROWN AND PURCHASED BY CONTRACTOR TO MATCH WITHIN EACH VARIETY IN SIZE, QUALITY AND CHARACTER AS INDICATED IN PLANT SCHEDULE. PLANT MATERIAL NOT MATCHING THESE REQUIREMENTS SHALL BE REJECTED.
- FERTILIZER**  
FERTILIZE ALL PLANT MATERIAL WITH A SLOW RELEASE PELLETT FERTILIZER. PLACE FERTILIZER AROUND ROOTBALL AFTER BACKFILLING BY 50% FOR TREE AND SHRUB PLANTING.
- STAKING AND GUYING**  
SEE TYPICAL PLANTING DETAILS.
- IRRIGATION**  
PERMANENT AUTOMATIC DRIP IRRIGATION SYSTEM TO BE INSTALLED BY PROFESSIONAL LANDSCAPE CONTRACTOR. DESIGN TO BE REVIEWED AND APPROVED BY TALASAEA PRIOR TO INSTALLATION.
- DRAINAGE**  
CONTRACTOR IS RESPONSIBLE FOR PROVIDING ADEQUATE DRAINAGE ADJACENT TO ALL PAVED SURFACES AND LANDSCAPE GRADES. PROVIDE CATCH BASINS, FRENCH DRAINS AND INLET DRAINS (AS NECESSARY) TO INTERCEPT PLANTING BED RUNOFF. DRAINS SHALL BE INCONSPICUOUSLY LOCATED AND SYMMETRICALLY ARRANGED WITHIN LANDSCAPE AREAS ADJACENT TO PAVED SURFACES, MEETING THE APPROVAL OF THE OWNER/REPRESENTATIVE OR LANDSCAPE ARCHITECT. TIE ALL REQUIRED INLET DRAINS AND CATCH BASINS INTO THE STORM DRAIN SYSTEM OF THE PROJECT.
- MAINTENANCE**  
LANDSCAPE CONTRACTOR TO MAINTAIN ALL PLANTING AREAS UNTIL FINAL ACCEPTANCE OF THE JOB BY THE OWNER. DURING THIS PERIOD ALL DAMAGED, DEAD, DISEASED, DYING, OR BROKEN PLANT MATERIALS SHALL BE REPLACED IMMEDIATELY BY THE LANDSCAPE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER. SITE SHALL BE MAINTAINED DURING LANDSCAPE CONSTRUCTION TO KEEP SITE CLEAN OF EXCESS SOIL OR EXCAVATION ON PAVED AREAS. LANDSCAPE CONTRACTOR SHALL FOLLOW THE BEST MANAGEMENT PRACTICES OF THE JURISDICTION WHERE THE PROJECT IS LOCATED.
- WARRANTY**  
LANDSCAPE CONTRACTOR SHALL WARRANT THE PURCHASER THAT ALL NEW LAWNS AND NEW NURSERY STOCK PLANT MATERIALS SUCH AS SHRUBS AND TREES SHALL, AT THE TIME OF INSTALLATION, BE FREE FROM DEFECTS DUE TO DISEASE OR DAMAGE CAUSED BY MISHANDLING OR IMPROPER PLANTING. THIS WARRANTY SHALL BE FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE. ON ANY ITEM WHICH PURCHASER BELIEVES DOES NOT CONFORM TO THE WARRANTY, THE LANDSCAPE CONTRACTOR SHALL HAVE THE RIGHT, AT ITS OWN EXPENSE, TO TEST THE ITEM TO DETERMINE THE CAUSE OF A DEFECTIVE OR DAMAGED CONDITION. THIS WARRANTY DOES NOT EXTEND TO, AND THE LANDSCAPE CONTRACTOR SHALL NOT BE HELD ACCOUNTABLE FOR, ACTS OF NATURE, VANDALISM OR IMPROPER CARE OR MAINTENANCE BY THE PURCHASER AFTER THE DATE OF INSTALLATION.
- CLEAN UP**  
PRIOR TO FINAL ACCEPTANCE AND PAYMENT, THE LANDSCAPE CONTRACTOR SHALL REMOVE FROM SITE ALL TRASH AND DEBRIS RESULTING FROM THEIR SCOPE OF WORK AND SHALL PRESSURE WASH OR WET BROOM SOIL FROM ALL PAVEMENT.
- INSPECTIONS**  
CONTRACTOR TO NOTIFY LANDSCAPE ARCHITECT AT TIME OF SUBGRADE PREPARATION FOR INSPECTION AND APPROVAL OF ALL SUBGRADES AND DRAINAGE CONDITIONS. CONTRACTOR TO AGAIN NOTIFY LANDSCAPE ARCHITECT AT TIME OF PLANTING TO INSPECT AND APPROVE PLANT MATERIALS AND LAYOUT PRIOR TO PLANTING. NO PLANT MATERIALS SHALL BE INSTALLED PRIOR TO INSPECTION OR CONTRACTOR SHALL ASSUME ALL REMEDIAL MEASURES. LANDSCAPE ARCHITECT MAY ALSO REQUEST MINOR ADJUSTMENTS TO THE PLANTING LAYOUT DURING THE PLANTING PHASE AT NO ADDITIONAL COST TO THE CONTRACTOR.

**PLAN LEGEND**

- PROPERTY LINE
- EXISTING WETLAND
- OHM
- POST CONSTRUCTION WETLAND BUFFER
- EXISTING TREES TO REMAIN



**CONTAINER STOCK PLANTING DETAIL**  
N.T.S.



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BY:   
CITY OF MILL CREEK  
DEPARTMENT OF PLANNING

DATE:

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Resource & Environmental Planning  
15020 Bear Creek Road Northeast - Woodinville, Washington 98077  
Ph: (425) 861-7268 - Fax: (425) 861-7248

LANDSCAPE PLAN - DESIGN REVIEW  
PLANTING PLAN, SCHEDULE, NOTES AND DETAILS  
MILL CREEK COMMONS - PHASE 2  
MILL CREEK, WASHINGTON

Revisions	Date	By

Date: 1-3-2017  
Scale: AS SHOWN  
Designed: QA/AO  
Drawn: ABS/OA  
Checked: AO  
Approved: BS

Project # 1197

Sheet # 11

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